



MEMORANDUM

TO: City of Burlington Historic Preservation Commission

FROM: Francesca Bumpurs, Business Services Manager
Racine County Economic Development Corporation

DATE: February 24, 2005

SUBJECT: Burl Sign Co. for Burlington Chamber of Commerce
113 East Chestnut Street, Burlington
Sign Permit Application

The purpose of this memorandum is to provide you with the attached Sign Permit Application and rendering for new vinyl window signage for the Burlington Chamber of Commerce/Chocolate Museum located at 113 East Chestnut Street, Burlington.

Patrick Scherrer, Building Inspector, has reviewed the attached signage rendering and determined that, from the dimensions given, the size of the signs are appropriate in relationship to the size of the glass. However, no dimensions were given as to lettering size (maximum is 12") and therefore this is an open question.

Dennis Spankowski has been invited to the meeting to answer any questions you may have.

City of Burlington
Historic Preservation Overlay District
Sign Permit Application

All parties intending to place signage within the HPO District must complete the following steps:

- ⇒ Provide completed Sign Permit Application to the City of Burlington Building Inspector's office located at 300 North Pine Street, Burlington;
- ⇒ Application must be submitted 10 business days prior to the regularly scheduled Historic Preservation Commission (HPC) meeting. The HPC meets every 4th Thursday of the month at 6:30 p.m. within the Common Council Chambers located at 224 East Jefferson Street.
- ⇒ Upon a recommendation to approve the proposed sign, the HPC will provide their recommendation to the Plan Commission. The Plan Commission meets every 2nd Tuesday of the month at 6:30 p.m.

You are encouraged to attend said meetings to address any questions or concerns that the Commission members may have regarding your sign application.

Please find the attached ordinances, which indicate the standards of signage within the HPO district.

Project Location: (Building Address) 113 E. CHESTNUT	Applicant Name(s): Burlington Sign Co
Property Owner Name: DO-BIG LLC 1072 288 th AVE BURLINGTON, WI 53105	Applicant Mailing Address: 1072 288th AVE BURLINGTON, WI 53105 125 FRONT ST, Burlington
Property Owner Telephone Number: 262-878-3000	Applicant Telephone Number: 262-763-7154
Property Owner Fax Number: 262-878-4772	Applicant Fax Number: 763-1879
Sign Contractor Burlington Sign Co	Sign Contractor Mailing Address 125 FRONT ST Burlington
1. Signs Prohibited in the HPO District.	

In addition to signs prohibited in ALL ZONING DISTRICTS as set forth in § 315-65, the following signs are prohibited:

- A. **Freestanding Signs.** Exception – one sandwich sign not exceeding six (6) square feet per sign face and does not constitute a public safety or traffic hazard.

Applicable to proposed sign permit application? ☐ Yes ☒ No

- B. **Plastic Formed Signs.** No plastic formed signs or signs formed from plastic-like materials unless such materials simulate historic signage.

Applicable to proposed sign permit application? ☐ Yes ☒ No

2. Wall, Fascia (including transoms) and Awning Signs.

- A. **Placement.** All wall, fascia, transoms and awning signs shall be placed BELOW the upper edge of the traditional building sign band (for graphic example, please see page three of attached HPO zoning ordinance). No signage allowed above upper edge of said sign band, with the exception of projecting and hanging signs (see item #3).

Applicable to proposed sign permit application? ☒ Yes ☐ No
Conform to Placement Requirement? ☒ Yes ☐ No

- B. **Maximum Signage Area.** Total cumulative signage area of all exterior signage placed upon street-facing façade of building (does not include signage placed inside of windows, freestanding sandwich signs or projecting and overhanging signs) shall NOT EXCEED 15% of total façade area of the FIRST FLOOR street-facing façade.

Applicable to proposed sign permit application? ☐ Yes ☒ No
Conform to Maximum Signage Requirement? ☐ Yes ☒ No

If yes, indicate the total façade area (in square feet) of the first floor street-facing façade: _____ square feet.

If applicable, indicate the current total cumulative signage area (square feet) of all street-facing signs: _____ square feet.

- C. **Maximum Signage Lettering.** For wall and fascia signage, lettering shall not be greater than 12" in height AND cover not more than 60% of the sign board on which the letters are placed.

Applicable to proposed sign permit application? ☒ Yes ☐ No
Conform to Lettering Requirement? ☒ Yes ☐ No

- D. **Maximum Number of Wall, Fascia, Transom and Awning Signs.** Total number shall not exceed 3 signs. Gilded, vinyl or painted letters on the inside or outside of storefront display windows are not included within said maximum.

Applicable to proposed sign permit application? ☐ Yes ☒ No
Conform to Maximum Requirement? ☐ Yes ☒ No

If yes, indicate the total façade area (in square feet) of the upper (second) floor street-facing façade (as measured from the upper edge of the sign band to the upper edge of the cornice): _____ square feet.

If applicable, indicate the current total cumulative signage area (square feet) of all projecting and hanging signs facing the street: _____ square feet.

- E. **Wall, Fascia and Transom Sign Placement.** No wall sign or fascia (including transom) shall be placed to visually obscure architectural details of the building.

Applicable to proposed sign permit application? ☐ Yes ☒ No
Conform to Placement Requirement? ☐ Yes ☒ No

3. Projecting and Hanging Signs.

- A. **Minimum and Maximum Height.** All projecting and hanging signs shall be elevated a minimum height of 8 feet. Said signs may be placed ABOVE the sign band; however not above the top edge of the largest second story window.

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Applicable to proposed sign permit application?
Conform to Placement Requirement?

☐ Yes ☒ No
☐ Yes ☒ No

- B. **Limitation of the Extension.** All projecting and hanging signs shall not project more than 5 feet from the surface of its supporting building. All said signs shall not extend closer than 2 feet to any public street curb or pavement.

Applicable to proposed sign permit application?
Conform to Extension Requirement?

☐ Yes ☒ No
☐ Yes ☒ No

- C. **Placement of Projecting and Hanging Signs.** All projecting and hanging signs shall be placed perpendicular to the façade and not flush with building façade.

Applicable to proposed sign permit application?
Conform to Perpendicular Requirement?

☐ Yes ☒ No
☐ Yes ☒ No

- D. **Maximum Area of Projecting and Hanging Signs.** The maximum cumulative area allowed for projecting and hanging signs shall not exceed 7% of the UPPER building façade area.

Applicable to proposed sign permit application?
Conform to Maximum Area Requirement?

☐ Yes ☒ No
☐ Yes ☒ No

- E. **Limitation of the Number of Projecting and Hanging Signs.** The total number of projecting and hanging signs allowed on a structure shall be 1 sign per business.

Applicable to proposed sign permit application?
Conform to Number of Signs Requirement?

☒ Yes ☐ No
☒ Yes ☐ No

4. Illumination of Signs.

- A. **No internally illuminated signs shall be placed in the HPO District.** If signs are illuminated, signs shall be EXTERNALLY illuminated.

Applicable to proposed sign permit application?
Conform to Illumination Requirement?

☐ Yes ☒ No
☐ Yes ☒ No

- B. **Non-flashing, illuminated neon signs shall be permitted.**

Applicable to proposed sign permit application?
Conform to Neon Requirement?

☐ Yes ☒ No
☐ Yes ☒ No

5. Limitation of Types of Window Signs.

All window signs, including transom windows, shall be gilded, painted, vinyl, etched glass or leaded glass letters placed on the inside of storefront display windows. Product and/or company logo signs are allowed on the inside of storefront display windows.

Applicable to proposed sign permit application?
Conform to Types of Signage Requirement?

☒ Yes ☐ No
☒ Yes ☐ No

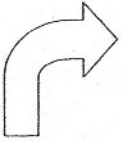
6. Signage Color.

All signage shall be of a color, which is compatible with the color of the building construction materials found in the HPO District.

Applicable to proposed sign permit application?
Conform to Color Requirement?

☒ Yes ☐ No
☒ Yes ☐ No

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Please attach a **recent photograph** of the entire façade of the building upon which the sign is proposed to be placed (minimum size of 3 inches by 5 inches) and a drawing or other graphic display of the proposed signage (drawn to a known architectural or engineering scale and properly dimensioned). This display must include all details that are applicable to said application including the following:

1. Proposed sign placement on the building with scaled dimensions indicating placement, distance extension from building and height of the sign relative to the abutting sidewalk (or surrounding grade if there isn't a sidewalk) for each sign proposed.
2. The material composition of the sign and its various elements.
3. The color(s) of the sign(s) proposed.
4. Scale of the drawing or graphic noted.
5. Date of the drawing or graphic noted.
6. Name of the preparer of the drawing noted.

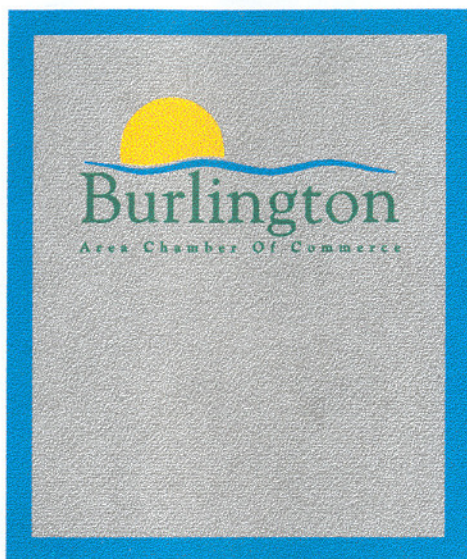
I hereby certify that all statements, forms and attachments submitted hereto are true and correct to the best of my knowledge and belief.

William D. Stone X
Property Owner Signature

2-5-5 X
Date

D. Sporka
Applicant's Signature

2-14-05
Date



LOGO SIZE: H-24" X L-49.690



WINDOW SIZE: H-69" X L-25"
LOGO SIZE: H-10.576 X L-22.532



WINDOW H-86" X L-72"
LOGO SIZE: H-31.899" X L-48.352"



125 Front St.
Burlington, WI. 53105
262-763-7654
bryan@burli signs.com
FAX 262-763-1879

Designer **Bryan Spankowski**

NOTE: All Original designs, logos, artwork, ect. Remain the property of Burli Signs Until Purchased ALL RIGHTS RESERVED

SIGNATURE

ATTENTION	JOB / INVOICE #	JOB LOCATION
PHONE #	E-MAIL	FAX #
SIGN TYPE	MATERIAL	NOTES
SIGN SIZE	COLORS	<input checked="" type="checkbox"/> SINGLE SIDE <input type="checkbox"/> DOUBLE SIDE
LETTER SIZE	NUMBER OF SIGNS	PRICE



MEMORANDUM

TO: City of Burlington Historic Preservation Commission

FROM: Francesca Bumpurs, Business Services Manager
Racine County Economic Development Corporation

DATE: February 24, 2005

SUBJECT: Bauer Sign Co. for Bank One - Chase
189 East Chestnut Street, Burlington
Sign Permit Application

The purpose of this memorandum is to provide you with the attached Sign Permit Application for new signage at Bank One - Chase located at 189 East Chestnut Street, Burlington.

Bank One proposes to replace the existing 'Bank One' signage (three signs) on the façade with new signage bearing the 'Chase' logo in the corporate colors of blue and white. Unfortunately, at the time the agenda was being finalized, the color drawings/renderings of the new signage had not yet been received for inclusion in the packets.

I am including a faxed copy of the renderings in which, although the pictures are unhelpful, the text is useful. The color renderings will be provided at the meeting.

A representative of Bauer Sign Co. has been invited to the meeting to answer any questions you may have.

FEB 15 2005

City of Burlington
Historic Preservation Overlay District
Sign Permit Application

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- ⇒ Application must be submitted 10 business days prior to the regularly scheduled Historic Preservation Commission (HPC) meeting. The HPC meets every 4th Thursday of the month at 6:30 p.m. within the Common Council Chambers located at 224 East Jefferson Street.
- ⇒ Upon a recommendation to approve the proposed sign, the HPC will provide their recommendation to the Plan Commission. The Plan Commission meets every 2nd Tuesday of the month at 6:30 p.m.

You are encouraged to attend said meetings to address any questions or concerns that the Commission members may have regarding your sign application.

Please find the attached ordinances, which indicate the standards of signage within the HPO district.

Project Location: (Building Address)	Applicant Name(s):
189 E. Chestnut	Bauer Sign Co
Property Owner Name:	Applicant Mailing Address:
Bank One - Chase c/o Bill Lavenstein	W184 S8408 Challenger Dr Muskego, WI 53150
Property Owner Telephone Number:	Applicant Telephone Number:
262-783-3875	262-679-2500
Property Owner Fax Number:	Applicant Fax Number:
	262-679-8370
Sign Contractor	Sign Contractor Mailing Address
Bauer Sign Co	W184 S8408 Challenger Dr Muskego, WI 53150

1. Signs Prohibited in the HPO District.

In addition to signs prohibited in ALL ZONING DISTRICTS as set forth in § 315-65, the following signs are prohibited:

- A. **Freestanding Signs.** Exception - one sandwich sign not exceeding six (6) square feet per sign face and does not constitute a public safety or traffic hazard.

Applicable to proposed sign permit application? ☐ Yes ☒ No

- B. **Plastic Formed Signs.** No plastic formed signs or signs formed from plastic-like materials unless such materials simulate historic signage.

Applicable to proposed sign permit application? ☐ Yes ☒ No

2. Wall, Fascia (including transoms) and Awning Signs.

- A. **Placement.** All wall, fascia, transoms and awning signs shall be placed BELOW the upper edge of the traditional building sign band (for graphic example, please see page three of attached HPO zoning ordinance). No signage allowed above upper edge of said sign band, with the exception of projecting and hanging signs (see item #3).

Applicable to proposed sign permit application?
Conform to Placement Requirement?

☐ Yes ☐ No
☒ Yes ☐ No

- B. **Maximum Signage Area.** Total cumulative signage area of all exterior signage placed upon street-facing façade of building (does not include signage placed inside of windows, freestanding sandwich signs or projecting and overhanging signs) shall NOT EXCEED 15% of total facade area of the FIRST FLOOR street-facing façade.

Applicable to proposed sign permit application?
Conform to Maximum Signage Requirement?

☐ Yes ☐ No
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If yes, indicate the total façade area (in square feet) of the first floor street-facing façade: _____ square feet.

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- C. **Maximum Signage Lettering.** For wall and fascia signage, lettering shall not be greater than 12" in height AND cover not more than 60% of the sign board on which the letters are placed.

Applicable to proposed sign permit application?
Conform to Lettering Requirement?

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- D. **Maximum Number of Wall, Fascia, Transom and Awning Signs.** Total number shall not exceed 3 signs. Gilded, vinyl or painted letters on the inside or outside of storefront display windows are not included within said maximum.

Applicable to proposed sign permit application?
Conform to Maximum Requirement?

☒ Yes ☐ No
☒ Yes ☐ No

If yes, indicate the total façade area (in square feet) of the upper (second) floor street-facing façade (as measured from the upper edge of the sign band to the upper edge of the cornice): _____ square feet.

If applicable, indicate the current total cumulative signage area (square feet) of all projecting and hanging signs facing the street: _____ square feet.

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☐ Yes ☐ No
☒ Yes ☐ No

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☒ Yes ☐ No
☒ Yes ☐ No

- B. **Limitation of the Extension.** All projecting and hanging signs shall not project more than 5 feet from the surface of its supporting building. All said signs shall not extend closer than 2 feet to any public street curb or pavement.

Applicable to proposed sign permit application?
Conform to Extension Requirement?

☐ Yes ☒ No
☐ Yes ☐ No

- C. **Placement of Projecting and Hanging Signs.** All projecting and hanging signs shall be placed perpendicular to the façade and not flush with building façade.

Applicable to proposed sign permit application?
Conform to Perpendicular Requirement?

☒ Yes ☐ No
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☒ Yes ☐ No

4. Illumination of Signs.

- A. **No internally illuminated signs shall be placed in the HPO District.** If signs are illuminated, signs shall be EXTERNALLY illuminated.

Applicable to proposed sign permit application?
Conform to Illumination Requirement?

☒ Yes ☐ No
☐ Yes ☒ No

- B. **Non-flashing, illuminated neon signs shall be permitted.**

Applicable to proposed sign permit application?
Conform to Neon Requirement?

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Applicable to proposed sign permit application?
Conform to Types of Signage Requirement?

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☐ Yes ☐ No

6. Signage Color.

All signage shall be of a color, which is compatible with the color of the building construction materials found in the HPO District.

Applicable to proposed sign permit application?
Conform to Color Requirement?

☒ Yes ☐ No
☒ Yes ☐ No

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BAUER SIGN

1+262+763+3474

P.05

Feb-09-05 02:14P City of Burlington



Please attach a recent photograph of the entire facade of the building upon which the sign is proposed to be placed (minimum size of 3 inches by 5 inches) and a drawing or other graphic display of the proposed signage (drawn to a known architectural or engineering scale and properly dimensioned). This display must include all details that are applicable to said application including the following:

1. Proposed sign placement on the building with scaled dimensions indicating placement, distance extension from building and height of the sign relative to the abutting sidewalk (or surrounding grade if there isn't a sidewalk) for each sign proposed.
2. The material composition of the sign and its various elements.
3. The color(s) of the sign(s) proposed.
4. Scale of the drawing or graphic noted.
5. Date of the drawing or graphic noted.
6. Name of the preparer of the drawing noted.

I hereby certify that all statements, forms and attachments submitted hereto are true and correct to the best of my knowledge and belief.

[Signature]
Property Owner Signature

2-14-05
Date

Bauer Sign Co
Applicant's Signature
C/O Laura Elder

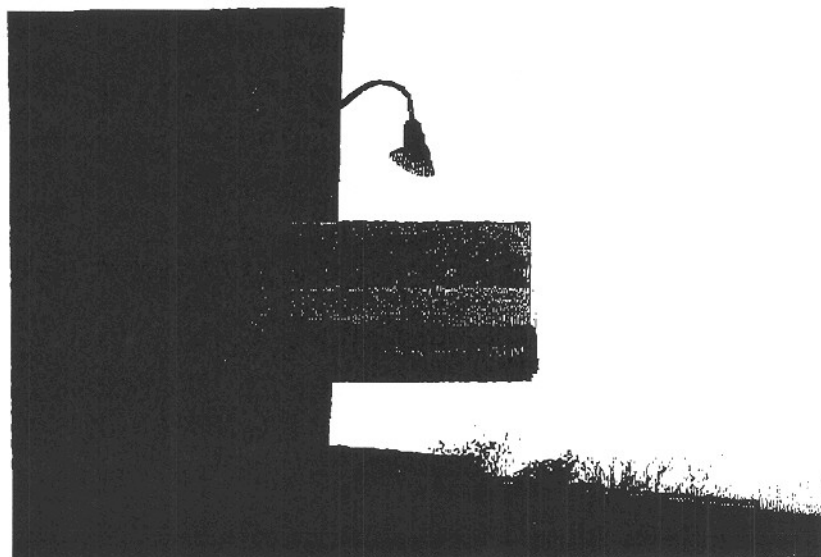
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Date

**Exterior Recommendations**

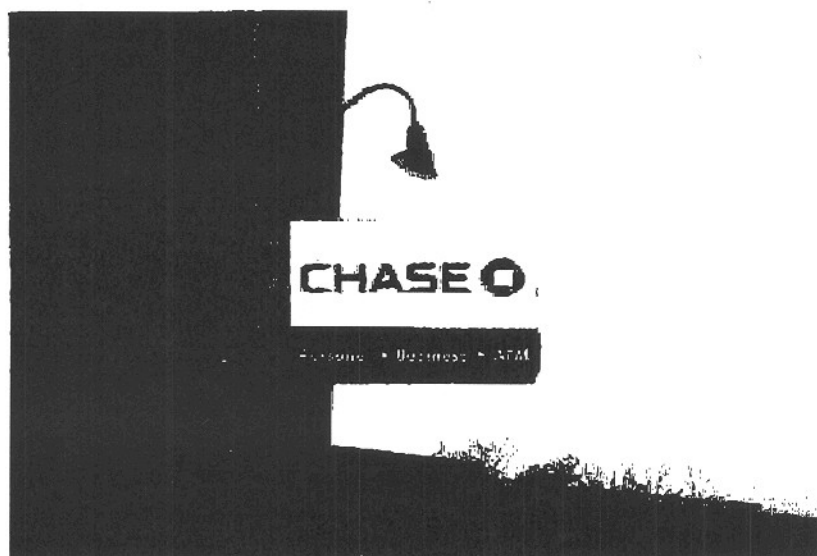
Site Number: 515764

Existing Signage

Sign: No: 001
Sign Type: Wall Cabinet
Face Material:
Graphic Material:
Height:
Width:
Depth:
Overall Above Height:
Illuminated:
Electrical:
Wall Material : Unknown

**Proposed Signage**

Action Code: Reface
Sign Type: Custom
Description: Custom Reface Existing Illuminated Flag Sign

**Required Site Work**

Message Face A:

Message Face B:

Restoration:

Remove and replace existing sign face w/ like materials. Field verify materials and dimensions prior to fabrication. Sign face to be standard Chase white. First surface decorate with Chase branded vinyl film. Use artwork provided by Chase or Monigle. Insure that illumination for new sign face is even w/o hot spots or shadows. Fabricator to scale artwork to match visual appearance shown in photo morph to meet clear zone tolerances - refer to control documents. Paint existing cabinet and frame Chase PMS #661.

Comments:

Remove and replace existing bulbs, ballast and electrical as required. Restore sign interior to like new conditions. Correct any electrical conditions that do not meet code. Notify Chase PM if a hazard exists.

Exterior Recommendations

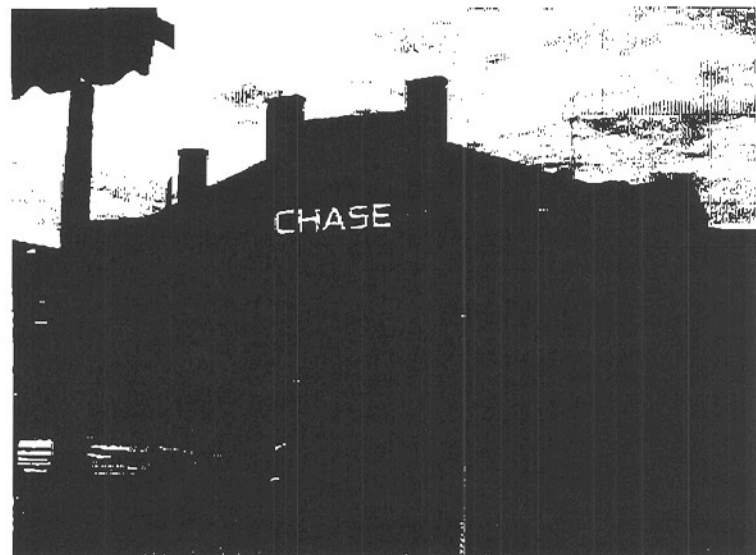
Site Number: 515764

Existing Signage

Sign: No: 013
Sign Type:
Face Material:
Graphic Material:
Height:
Width:
Depth:
Overall Above Height:
Illuminated:
Electrical:
Wall Material :

**Proposed Signage**

Action Code: Remove/Replace
Sign Type: LIF-R-WBO-12
Description: 12" White illuminated channel letters w/ blue octagon (mounted on a raceway)

**Required Site Work**

Message Face A:

Message Face B:

Restoration:

Patch and repair existing wall surface to like new condition. Repaint to match existing color finish. For brick or stone walls fill holes with matching silicone. Power wash wall if required. Install new signage using existing primary electrical. Verify if additional circuits are required for new sign. Field verify dimensions of space shown in photo morph prior to fabrication to verify if specified letterset will fit in area and meet clear zone tolerances - refer to Control Documents. ***Change letterset height if required. See control documents for product specification and master agreement for removal & installation requirements.

Comments:

Install on raceway - paint raceway to match existing building surface.

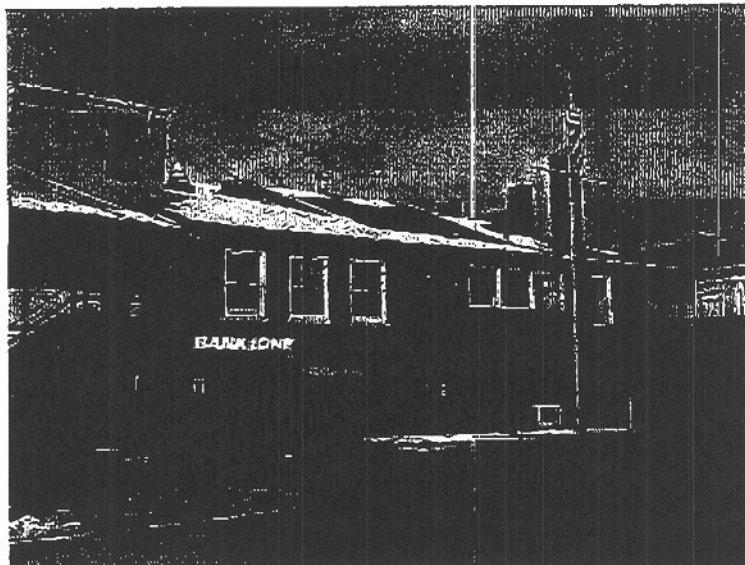
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Exterior Recommendations

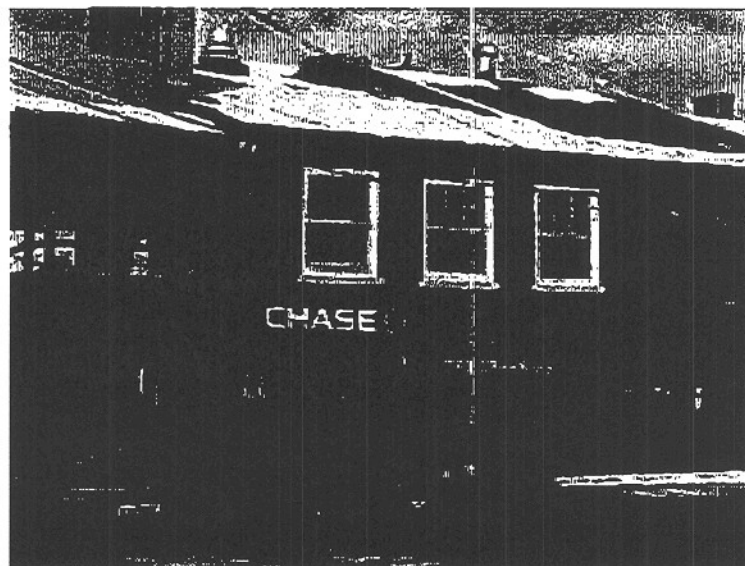
Site Number: 515764

Existing Signage

Sign: No: 014
Sign Type:
Face Material:
Graphic Material:
Height:
Width:
Depth:
Overall Above Height:
Illuminated:
Electrical:
Wall Material :

**Proposed Signage**

Action Code: Remove/Replace
Sign Type: LIF-R-WBO-12
Description: 12" White illuminated channel letters w/ blue octagon (mounted on a raceway)

**Required Site Work**

Message Face A:

Message Face B:

Restoration:

Patch and repair existing wall surface to like new condition. Repaint to match existing color finish. For brick or stone walls fill holes with matching silicone. Power wash wall if required. Install new signage using existing primary electrical. Verify if additional circuits are required for new sign. Field verify dimensions of space shown in photo morph prior to fabrication to verify if specified letterset will fit in area and meet clear zone tolerances - refer to Control Documents.
***Change letterset height if required. See control documents for product specification and master agreement for removal & installation requirements.

Comments:

Install on raceway - paint raceway to match existing building surface.



Why Johnson Bank?

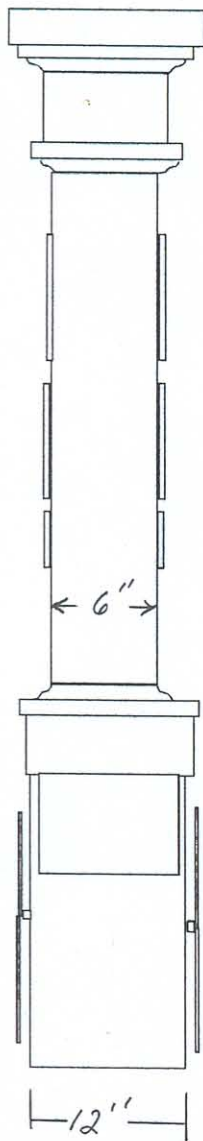
"Decisions are made locally...
by people you know."

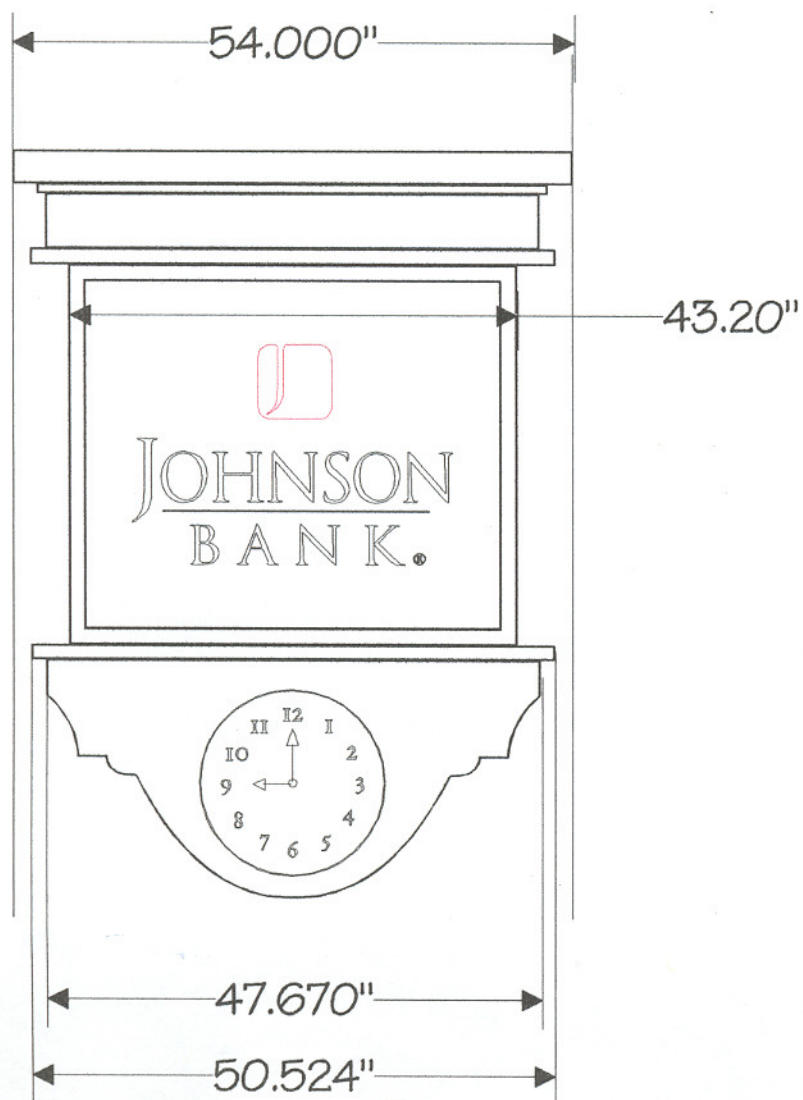
JOHNSON
BANK

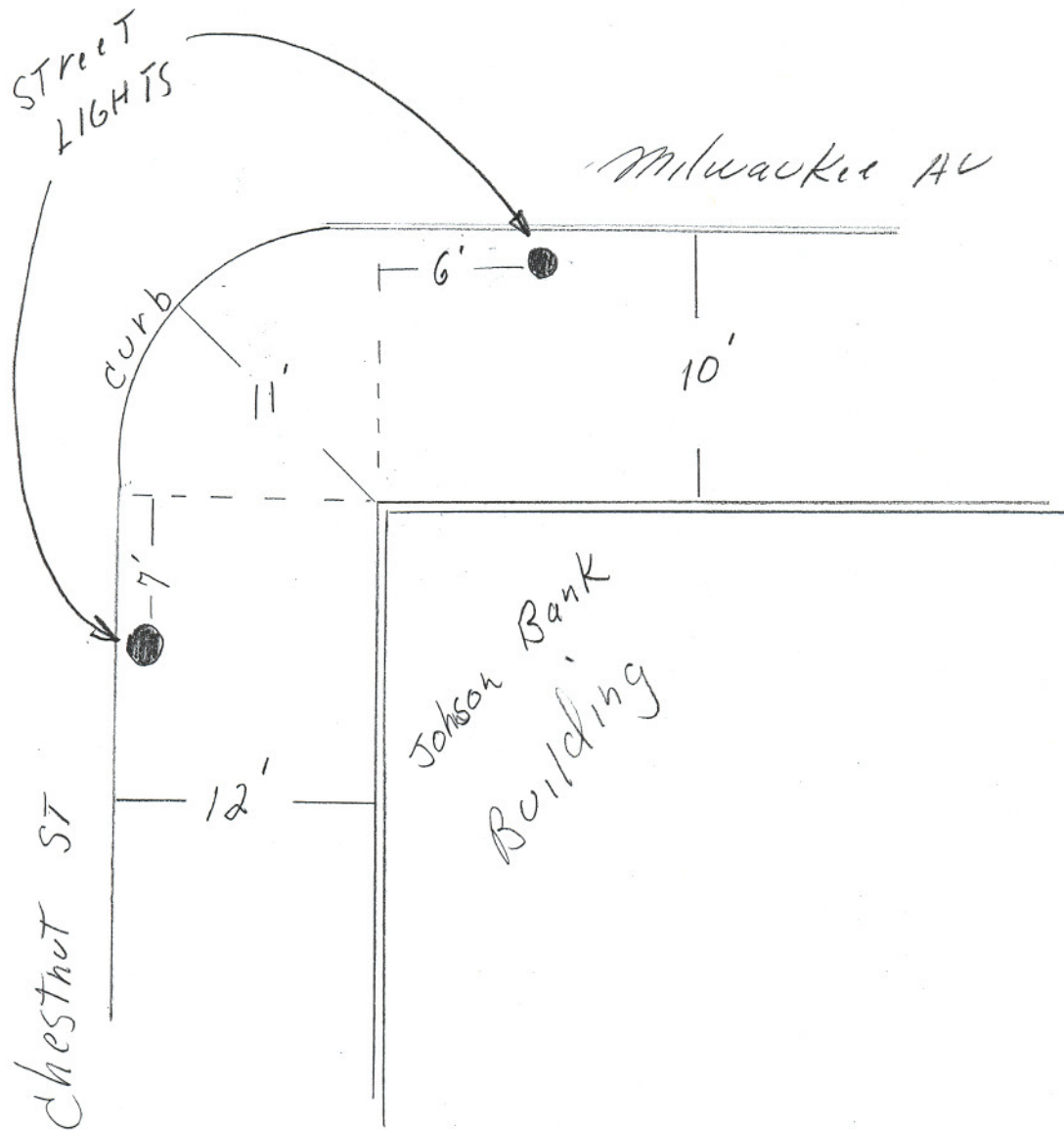
Derek Williams, Branch Manager,
Business Development,
Johnson Bank

www.johnsonbank.com









HPC GRANT FUNDING - \$180,000.00

Name	Property Address	Total Improvement Amount Proposed	Grant Amounts Approved	Funded?	Proposed Completion Date
Phil DeGreef	135 W. Chestnut St.	\$67,275	\$7,500	Yes	-
Doris Daniels	425 N. Pine St.	\$63,578	\$7,500	Yes	-
Judith Schulz	533 Milwaukee Ave.	\$29,500	\$7,500	Yes	-
Judith Schulz	541 Milwaukee Ave.	\$16,700	\$7,500	Yes	-
Jose Resendiz	324 N. Pine St.	\$1,955	\$977.50	Yes	-
Paul Signorella	133 E. Chestnut St.	\$3,798	\$1,899	Yes	-
Paul Signorella	149 E. Chestnut St.	\$15,474.50	\$7,317.25	Yes	-
Hope DeHart	161 E. Chestnut St.	\$18,994	\$7,500	Yes	-
Hope DeHart	165 E. Chestnut St.	\$26,716	\$7,500	Yes	-
Mary Brensigner	444 N. Pine St.	\$22,934.02	\$7,500	Yes	-
Lynn Greunke	516 N. Pine St.	\$25,269	\$7,500	Yes	-
Terri Warren	241 E. Chestnut St.	\$1,200	\$ 500	Yes	-
John Puntillo	556 N. Pine St.	\$15,931.86	\$7,500	Yes	-
John Pomaville	488 Milwaukee Ave.	\$11,350	\$5,675	Yes	-
Kevin McKillip	460 N. Pine St.	\$16,202	\$7,500	Yes	-
KA Management	133 E. Chestnut St.	\$1,540.77	\$770.39	Yes	-
KA Management	149 E. Chestnut St.	\$ 707	\$182.75	Yes	-
KA Management	492 N. Pine St.	\$10,639.28	\$5,314.64	Yes	-
Jim Weis	500 N. Pine St.	\$17,874	\$7,500	Yes	-
LuAnne Golon	401/409 N. Pine St.	\$11,142.93	\$5,571.65	Yes	-
Mike Springer	472 N. Pine St.	\$15,222	\$4,204	Yes	-
Al Strelbicki	572 N. Pine St.	\$18,056.57	\$7,500	Yes	-
Robert Wetzal	412 N. Pine St.	\$15,278	\$7,500	Yes	-
Claude Lois	149 Commerce St.	\$20,543	\$7,500	Yes	-
Nancy Belau	564 N. Pine St.	\$18,244	\$7,500	Yes	-
JJ Frederickson	344 N. Pine St.	\$2,393	\$500	Yes	-
James Oldenburg	100 & 112 E. Chestnut	\$9,600	\$4,850	Yes	-
Paul Schroeder	348 N. Pine St.	\$2,909.70	\$1,454.85	Yes	-
Al Johnson	532 N. Pine St.	\$2,373.57	\$1,186.79	Yes	-
David Flitcroft	588 N. Pine St.	\$10,676	\$5,338	Yes	-
David Flitcroft	580 N. Pine St.	\$18,149.32	\$7,500	Yes	-
Eric Christman	216 E. Washington	\$2,747.31	\$500	Yes	-
Lester Fritz	216 E. Washington	\$2,100	\$1,050	Yes	-
Paul Schroeder	348 N. Pine St.	\$10,664	\$3,842	Yes	-
Harry Bigelow	101 W. Chestnut	\$7,500	\$3,750	Yes	-
Harry Bigelow	117 W. Chestnut	\$6,470	\$3,235	Yes	-
David Berlin	517-519 Milwaukee Ave	\$17,733.65	\$7,500	Yes	-
Heather Milo	249 E. Chestnut	\$5,280	\$2,077.30	Yes	-
Total Approved		\$564,721.48	\$187,696.12		

Total disbursed: \$187,696.12

Returned to Program:

- 1) Leonard Alvarez, 261 N. Dodge Street, \$16,000/\$7,500
- 2) Sharon Clerc, 588 N. Pine Street, \$842/\$421

BALANCE REMAINING FROM FIRST GRANT + INTEREST: \$0.00

HPC GRANT FUNDING #2 - \$50,000.00

Name	Property Address	Total Improvement Amount Proposed	Grant Amounts Approved for Funding	Funded?	Proposed Completion Date
Heather Milo	249 E. Chestnut	\$5,280	\$562.70	Yes	-
John Moe	516-518 Mill St.	\$1,700	\$850	Yes	-
John Moe (sign)	516-518 Mill St.	\$392.85	\$196.43	Yes	-
Niccolai/Ventura	336 Pine St.	\$8,500	\$4,250	Yes	-
Wilkomm/LeClaire	388 N. Pine St.	\$5,152	\$2,576	Yes	-
Girolamo	129 E. Chestnut	\$47.18	\$23.59	Yes	-
Martinez	261 E. Chestnut	\$800	\$250	Yes	-
Renee	140 Chestnut	\$2,962	\$250	Yes	-
Aranda	241 E. Chestnut	10,200	\$4,500	Yes	-
Ventura	336 Pine St.	\$3,779.14	\$750	Yes	-
Alvarez	448 Milwaukee Ave.	\$7,756.38	\$3,878.19	Yes	-
Oldenburg	100 E. Chestnut	\$9,923.54	\$150		
Oldenburg	112 E. Chestnut	\$5,307.55	\$2,653.78		
Closet 2 Closet	456 Milwaukee Ave.	\$761.25	\$250		
Total Approved		\$62,561.89	\$20,890.69		

Total disbursed: \$18,086.91

Returned to Program:

- 1) David Berlin, 316-332 N. Pine Street, \$3,850/\$1,925
- 2) David Berlin, 336-344 N. Pine Street, \$4,025/\$2,012.50

Applications pending approval:

Name	Property Address	Proposed Grant Amount	Comments
Rizzo	115 Commerce St.	\$5,000	Tabled 9/23/04 – awaiting all info.
Rizzo	549 Milwaukee Ave.	\$5,000	Tabled 9/23/04 – awaiting all info.

BALANCE REMAINING FROM SECOND GRANT: \$18,859.31
(includes pending applications)



MEMORANDUM

TO: City of Burlington Historic Preservation Commission

FROM: Francesca Bumpurs, Business Services Manager
Racine County Economic Development Corporation

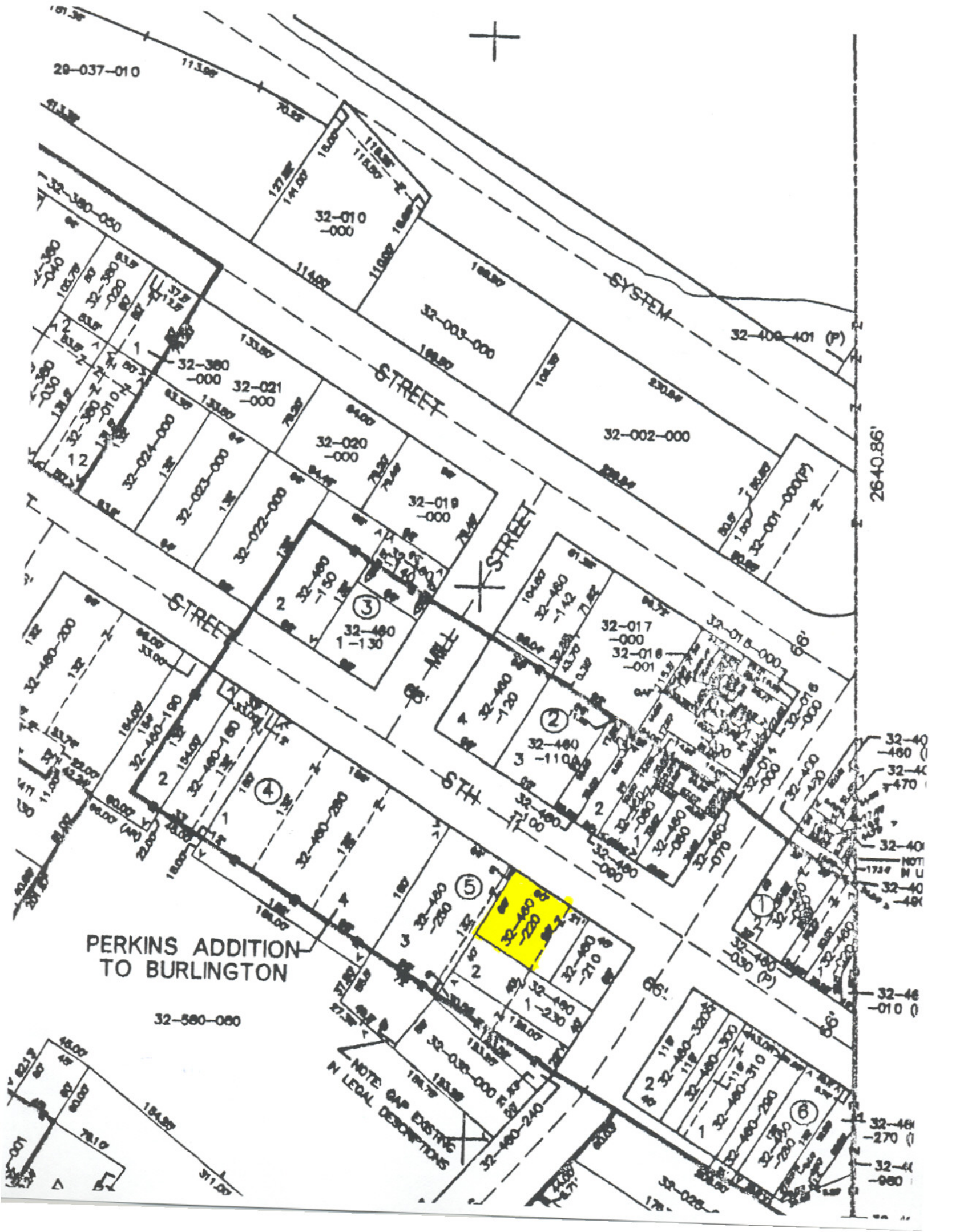
DATE: February 24, 2005

SUBJECT: 117-121 W. Chestnut Street, Burlington

The purpose of this memorandum is to notify the HPC that this building will be discussed at the February meeting under the "Questions and Comments concerning potential/future projects" section of the agenda. Attached are a couple of pictures of the building façade, as well as a marked plat map of the building lot.

Prior to the February meeting, please make time to drive by the building and look it over so that you will be prepared to participate in a discussion regarding the building's future. Should you have any questions, please do not hesitate to contact me at 262-898-7422 or fbumpurs@racinecountyedc.org.





29-037-010

32-010-000

32-003-000

32-400-401 (P)

32-021-000

32-002-000

32-020-000

32-019-000

32-480-130

32-017-000

32-018-001

32-480-280

32-480-720

32-480-210

32-480-230

32-030-000 R

32-480-240

32-480-300

32-480-310

32-480-280

32-480-700

PERKINS ADDITION TO BURLINGTON

32-580-080

NOTE: GAP EXISTING IN LEGAL DESCRIPTIONS

2640.86'

32-40-480 (P)

32-40-470

32-40-480

32-40-480

32-40-480

32-40-480

32-40-480

32-40-480